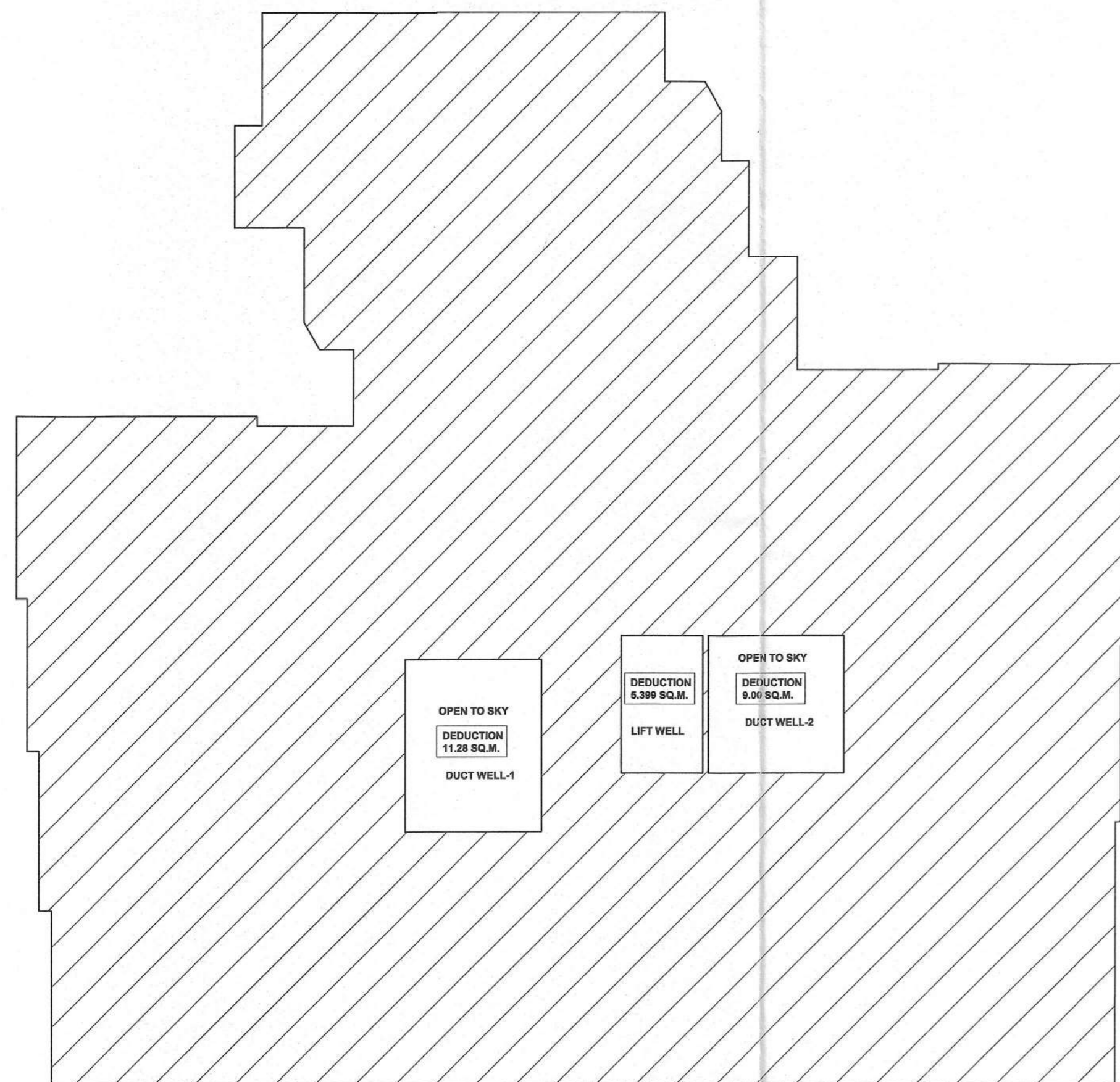


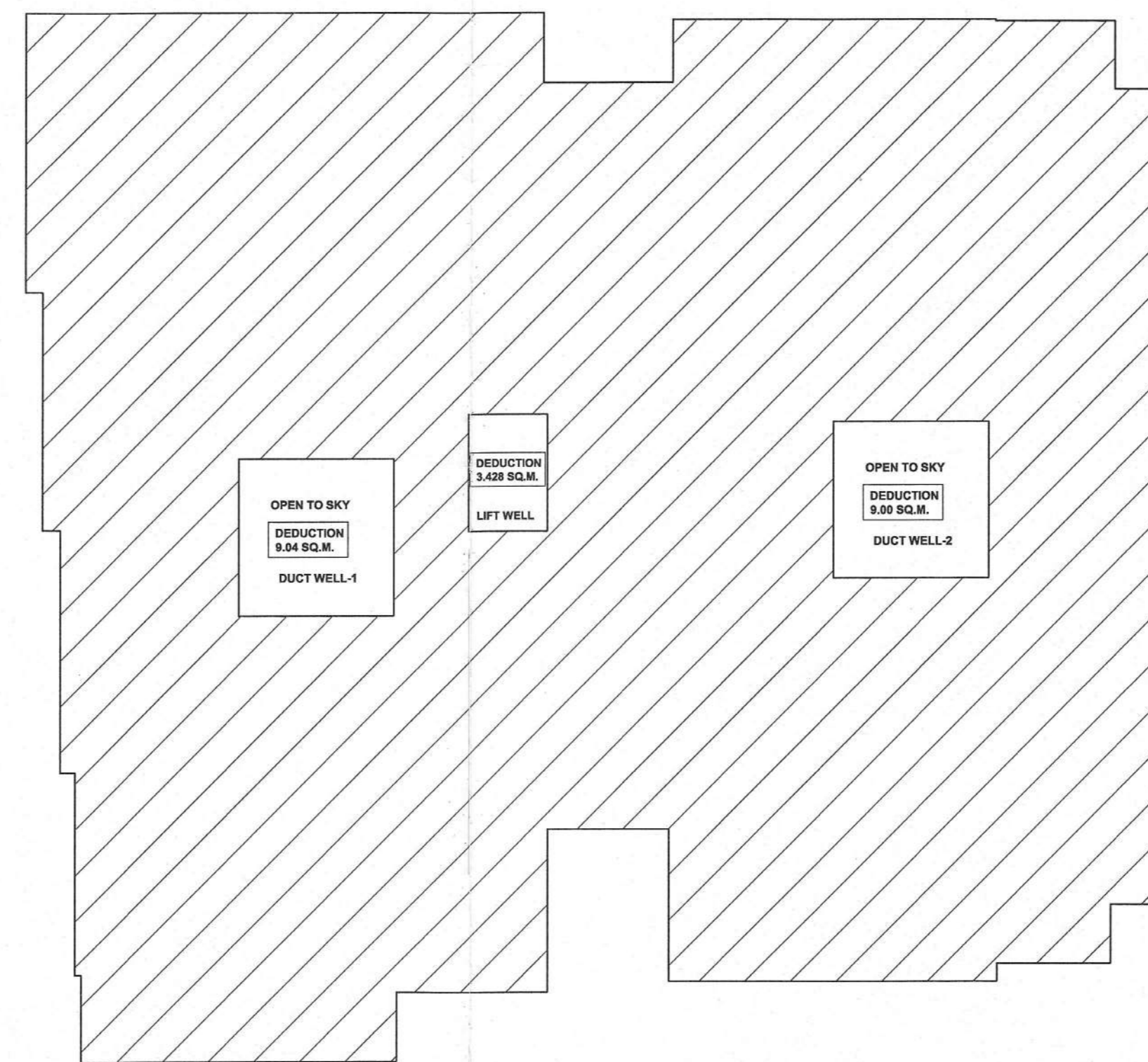
BLOCK-A BUILT UP AREA	
TOTAL AREA(A1)	449.15 SQ.M
DEDUCTION	
DUCT WELL -1	11.28 SQ.M.
DUCT WELL -2	9.00 SQ.M.
LIFT WELL	5.399 SQ.M.
NET AREA	25.679 SQ.M.
TOTAL AREA (1ST-7TH) EACH FLOOR	423.471 SQ.M.

BLOCK-B BUILT UP AREA	
TOTAL AREA(A1)	399.37 SQ.M
DEDUCTION	
DUCT WELL-1	9.04 SQ.M.
DUCT WELL-2	9.00 SQ.M.
LIFT WELL	3.428 SQ.M.
NET AREA	21.468 SQ.M.
TOTAL AREA (1ST-7TH) EACH FLOOR	377.90 SQ.M.



BLOCK-A FIRST FLOOR & TYPICAL FLOOR (1ST TO 7TH) BUILT -UP AREA

C.S. Harish
 Harish, IFS
 Executive Director
 West Bengal Industrial
 Development Corporation Ltd.
 23, Abanindranath Tagore Street (Cameo St),
 Kolkata - 700 017.



BLOCK-B FIRST FLOOR & TYPICAL FLOOR (1ST TO 7TH) BUILT -UP AREA

S. S. Sanyal
 25.11.2022
 Consultant (Planning)
 West Bengal Industrial Development Corpn.

CHECKED & VERIFIED
Subhra Chatterjee
 RADIANT
 24/11/22

SCHEDULE OF DOORS & WINDOWS		
MARK	SIZE(MM)	DESCRIPTION
D	1000X2100	PANNEL DOOR
D1	900X2100	PANNEL DOOR
D2	750X2100	PANNEL DOOR
S.D	1800X2100	SLIDING DOOR
D3	750X2100	P.V.C. DOOR AND FRAME
W	1500X1200	GLAZED WINDOW WITH GRILL
W1	1200X1200	- DO -
W2	900X1200	- DO -
W3	750X600	GLAZED LOUVER
SW	900X1500	- DO -
V	450X450	- DO -

AREA STATEMENT	
1.) LAND AREA :	1857.078 SQ.M/27.75 K
2.) PERMISSIBLE GROUND COVERAGE AREA :	928.54 SQ.M (50%)
3.) PROPOSED GROUND COVERAGE :	892.89 SQ.M (48.08%)
4.) PERMISSIBLE F.A.R @ 3 :	5571.234 SQ.M
5.) PROPOSED CONSUMED F.A.R :	5255.427418 SQ.M (2.82994)
6.) PERMISSIBLE PARKING :	43 NOS.
7.) PROPOSED PARKING :	45 NOS.
8.) PERMISSIBLE HEIGHT OF THE BUILDING :	NO RESTRICTION
9.) PROPOSED HEIGHT OF THE BUILDING :	24.80 M.
10.) GROUND FLOOR BUILT UP AREA :	868.16 SQ.M
11.) BLOCK-A FIRST FLOOR BUILT UP AREA :	423.47 SQ.M
12.) BLOCK-A TYPICAL FLOOR BUILT UP AREA :	423.47 SQ.M
13.) BLOCK-A TOTAL TYPICAL FLOOR(1ST-7TH) BUILT UP AREA :	2964.29 SQ.M
14.) BLOCK-B FIRST FLOOR BUILT UP AREA :	377.90 SQ.M
15.) BLOCK-B TYPICAL FLOOR BUILT UP AREA :	377.90 SQ.M
16.) BLOCK-B TOTAL TYPICAL FLOOR(1ST-7TH) BUILT UP AREA :	2645.3 SQ.M
17.) TOTAL BUILT UP AREA A+B (G+7) :	6477.74 SQ.M
18.) GROUND FLOOR F.A.R AREA :	33.512 SQ.M
19.) BLOCK-A FIRST FLOOR F.A.R AREA :	395.473 SQ.M
20.) BLOCK-A TYPICAL FLOOR F.A.R AREA :	395.473 SQ.M
21.) BLOCK-A TOTAL TYPICAL FLOOR (1ST-7TH) F.A.R AREA :	2788.31 SQ.M
22.) BLOCK-B FIRST FLOOR F.A.R AREA :	350.521 SQ.M
23.) BLOCK-B TYPICAL FLOOR F.A.R AREA :	350.521 SQ.M
24.) BLOCK-B TOTAL TYPICAL FLOOR (1ST-7TH) F.A.R AREA :	2453.647 SQ.M
25.) TOTAL FLOOR F.A.R AREA(G.F+A+B) :	5255.427418 SQ.M

PLOT DETAILS
 PLAN FOR PROPOSED EIGHT (G+7) STORIED RESIDENTIAL APARTMENT , OF 1.) SMT. SUBHRA CHATTERJEE, 2.) S.K JIYAUDDIN, 3.) SRI. MRIDUL KR. DEY, 4.) SMT. KRISHNA DAS, 5.) SMT. RAMA SAMADDAR, 6.) SMT. NAMITA KOLEY, OVER PLOT DETAILS /ADDRESS : L.R. PLOT NO- 719, 720, 723 / 5923 , KHATIAN NO- 4009, J.L. NO-52, MOUZA:- ANDAL, P.S.-ANDAL, DIST. -PASCHIM BURDWAN

CONSULTANT/ARCHITECT'S SIGNATURE
 I/WE DO HEREBY CERTIFY THAT THE PLANS, ELEVATIONS AND SECTIONS AND OTHER STRUCTURAL DETAILS OF THE PROPOSED BUILDING ON PLOT NO- L.R. PLOT NO- 719, 720, 723 / 5923, STREET- GCITA, UNDER THE JURISDICTION OF WEST BENGAL INDUSTRIAL DEVELOPMENT CORPORATION, (INDUSTRIAL TOWNSHIP AUTHORITY), HAS BEEN PREPARED IN CONFORMITY WITH ALL RELEVANT PROVISIONS UNDER THE WEST BENGAL MUNICIPAL (BUILDING) RULES 2007. THIS IS ALSO TO CERTIFY THAT ALL RELEVANT 'NO OBJECTIONS' CERTIFICATES, FROM THE RESPECTIVE AUTHORITIES SUCH AS FIRE AND EMERGENCY SERVICES DEPARTMENT, & AIRPORT AUTHORITY AS APPLICABLE IN THIS REGARD ARE ALSO ENCLOSED WITH THE APPLICATION FOR SEEKING APPROVAL OF THE PLAN TO CONSTRUCT THE BUILDING ON THE SAID PLOT.

AR. JUI CHATTERJEE, B.A.RCH
 Registration No : CA/2021/134352
 Ph : 9434849399, 7585893411
 4/13, Subalta Commercial Complex,
 City Centre, Durgapur - 713216
Jui Chatterjee
JUI CHATTERJEE
 (COA REG. NO - CA/2021/134352)

STRUCTURAL ENGINEER'S SIGNATURE
 I/WE DO HEREBY CERTIFY THAT THE FOUNDATION AND SUPERSTRUCTURE OF THE PROPOSED BUILDING FOR CONSTRUCTION ON PLOT NO- L.R. PLOT NO- 719, 720, 723 / 5923, STREET- GCITA, WARD NO- , UNDER THE JURISDICTION OF WEST BENGAL INDUSTRIAL DEVELOPMENT CORPORATION, (INDUSTRIAL TOWNSHIP AUTHORITY), HAS BEEN PERSONALLY INSPECTED AND SO DESIGNED BY ME/US, AND WILL MAKE SUCH FOUNDATION AND SUPERSTRUCTURE SAFE IN ALL RESPECTS INCLUDING THE CONSIDERATION OF BEARING CAPACITY, AND SETTLEMENT OF SOIL AND OTHER CONDITIONS, IF ANY, CONFORMING TO ALL STIPULATION ALL RELEVANT IS CODES OF PRACTICE AND NATIONAL BUILDING CODE.

Supad
 M.E. (CIVIL) IN CHARGE
 ESE-11/RMCM/664
 STER/NKDA/21/000110
 CIVIL/NKDA/10/00175
 (M)- 8697517321/7003201735

STRUCTURAL REVIEWER'S SIGNATURE
 I/WE DO HEREBY CERTIFY THAT THE BUILDING SITE PROPOSED BUILDING FOR CONSTRUCTION ON PLOT NO- L.R. PLOT NO- 719, 720, 723 / 5923, STREET- GCITA, WARD NO- , UNDER THE JURISDICTION OF WEST BENGAL INDUSTRIAL DEVELOPMENT CORPORATION, (INDUSTRIAL TOWNSHIP AUTHORITY), HAS BEEN VISITED BY ME/US, AND ALL THE DESIGNS, DRAWINGS (NO- 1), SOIL TEST REPORT, AND LOAD TEST RESULTS FOR FOUNDATIONS AND SUPERSTRUCTURES, HAVE BEEN DUELY REVIEWED CONFORMING TO STIPULATIONS OF ALL LATEST RELEVANT IS CODES OF PRACTICE AND NATIONAL BUILDING CODE AND IT IS FOUND THAT EVERYTHING IS COMPLETELY IN ORDER AND THE PROPOSED FOUNDATION AND SUPER STRUCTURE ARE SAFE IN ALL RESPECTS.

Supad
 M.E. (CIVIL) IN CHARGE
 ESE-11/RMCM/664
 STER/NKDA/21/000110
 CIVIL/NKDA/10/00175
 (M)- 8697517321/7003201735

GEO-TECHNICAL ENGINEER'S SIGNATURE
Rupak Kumar Banerjee
RUPAK KUMAR BANERJEE
 M.E. CHARTERED ENGINEER
 ENLISTED GEO TECHNICAL ENGINEER (K.M.C)
 G-798/K.M.C.
 LM-47934-153878-5.

SIGNATURE OF OWNER'S
Subhra Chatterjee
 Authorized Signatory

TITLE
 ARCHITECTURAL DRAWING SHOWING AREA PLYLINE OF EIGHT STORIED (G+VII) RESIDENTIAL APARTMENT.

DRAWN SIG.	DRG.NO.:	CHECKED SIG.	SHEET.NO.:	SCALE
				1:100
				1:200
				1:50,1:25

JUPITER-2022-7-13